



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

Permit & Request Application

Project Permit(s) & Fees			
Permit:	Fee:	Multiple Permit Discount:	App. #:
AP	\$2224		14-322
A-Var	\$968	968 x 1/2 = \$484	Date: 6/5/14
			Received By: A. Hobson
			Total Fee: \$2224 + \$484

Project/Property Information	
Project Address:	1143 RIPPLE AVE APN: 006 054022
Lot: 2	Block: 352 Tract:
ZC:	GP: Lot Size: 6344
Project Description:	WESENBERG REMODEL ADDITION REMODEL ADDITION DEMO 133LF OF EXT WALL 1445 SQFT ADDITION
Applicant Name:	CHAD BROWN Phone #: 831 392 7788
Mailing Address:	333 HANNON AVE MONTEREY CA
Email Address:	livegreen@att.net
Owner Name:	ROBERT WESENBERG Phone #: 915 4357
Mailing Address:	1143 RIPPLE AVE
Email Address:	

Permit(s)/Request(s)			
<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation Permit	<input type="checkbox"/> AVAR: Administrative VAR
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HDP: Historic Demolition Permit	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> ADC: AP Design Change	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> HRP: Historic Relocation Permit	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> C-1 Interp. of Permitted Uses	<input type="checkbox"/> HD: Historic Determination	<input type="checkbox"/> IS & ND/MND: Initial Study
<input type="checkbox"/> ASP: Administrative SP	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit w/ Dev't	<input type="checkbox"/> EIR: Env. Impact Report
<input type="checkbox"/> TTM: Tentative Tract Map	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Permit Undocumented Unit	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> FTM: Final Tract Map	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> GPA: General Plan Amendment	<input type="checkbox"/> Other
<input type="checkbox"/> SPR: Site Plan Review	<input type="checkbox"/> COC: Certificate of Compliance	<input type="checkbox"/> ZCA: Zoning Code Amendment	<input type="checkbox"/> Other

CEQA Determination	Review Authority	Does the property have?	Is the property within?
<input type="checkbox"/> Cat. Exempt, Class:	<input type="checkbox"/> Staff <input type="checkbox"/> NRC	<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> ASA: Archaeologically Sensitive Area ¹
<input type="checkbox"/> ND: Negative Declaration	<input type="checkbox"/> ZA <input type="checkbox"/> HRC	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> CZ: Coastal Zone ²
<input type="checkbox"/> MND: Mitigated ND	<input type="checkbox"/> SPRC <input type="checkbox"/> PC	<input type="checkbox"/> Active Code Violation	<input type="checkbox"/> ASBS: Drainage into ASBS Watershed
<input type="checkbox"/> EIR: Environmental Impact Report	<input type="checkbox"/> ARB <input type="checkbox"/> CC		<input type="checkbox"/> HRI: Historic Resources Inventory ^{3,4}
			<input type="checkbox"/> BP: Butterfly Preserve Buffer

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: _____ Date: _____
 Owner Signature (Required): _____ Date: _____

PROJECT DATA SHEET

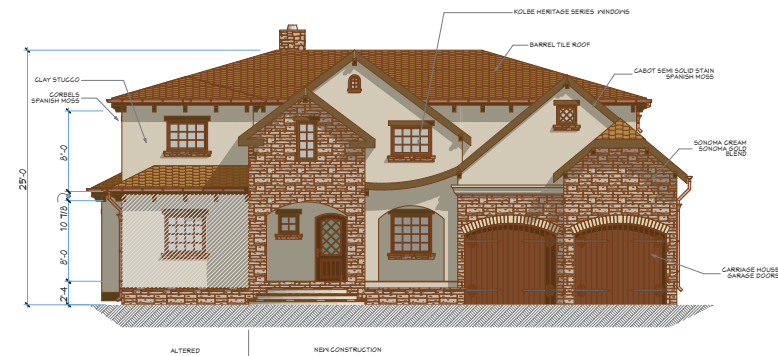
Project Address: 1143 Ripple Ave Submittal Date: _____
 Applicant(s): Chad Brown Permit Type(s) & No(s): AP 14-322

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District		R-1-H	R-1-H	
Building Site Area	>4,000 sq. ft	6344 sq. ft.	6344 sq. ft	
Density (multi-family projects only)	17.4 DU/ac			
Building Coverage	2537 sq. ft.	1550 sq. ft.	2247 sq. ft.	
Site Coverage	3806 sq. ft.	1865 sq. ft.	2354 sq. ft.	
Gross Floor Area	3,028 sq. ft	1550 sq. ft.	3,003 sq. ft.	
Square Footage not counted towards Gross Floor Area			1,406 sq. ft.	
Impervious Surface Area Created and/or Replaced		2,000 sq. ft	2,354 sq. ft.	
Exterior Lateral Wall Length to be demolished in feet & % of total*	_____	183 sq. ft.	135 ^{ft} /72 %	
Exterior Lateral Wall Length to be built	_____	_____		
Building Height	25'	16'8"	25"	
Number of stories	2	1	2	
Front Setback	15'	15"	15"	
East Side Setback (specify side)	6'	6'	6'	
West Side Setback (specify side)	6'	6'	6'	
Rear Setback	10'	10'	10'	
Garage Door Setback	20'	20'3"	20'3"	
Covered Parking Spaces	1	2	2	
Uncovered Parking Spaces	1	1	1	
Parking Space Size (Interior measurement)	9' x 20'	20' x 10'	20' x 10'	
Number of Driveways	1	1	1	
Driveway Width(s)			21'9"	
Back-up Distance		20'3"	20'3"	
Eave Projection (Into Setback)	3' maximum		1"	
Distances Between Eaves & Property Lines	3' minimum		6'+	
Open Porch/Deck Projections		max 4'		
Architectural Feature Projections				n/a
Number & Category of Accessory Buildings		0	0	
Accessory Building Setbacks				n/a
Distance between Buildings				n/a
Accessory Building Heights				n/a
Fence Heights		6' & 4'	6' & 4'	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

WESENBERG REMODEL ADDITION

ROBERT WESENBERG
1143 RIPPLE AVE.
PACIFIC GROVE, CA 93950
P: 831.915.4357
APN: 006-054-002



The structure follows current "New Home Construction Green Building" Guidelines as set forth by the Monterey County Community Development Agency for Energy Efficiency.

This project is ~10% more efficient than the standard T-24 Requirements.

Site:
Reuse or Recycle a minimum of 65% job site construction and demolition waste.
Donate unused materials to local charitable organizations.
Minimize disruption of existing plants and trees.
Design native, non-invasive, and resource-efficient landscapes and gardens if irrigation is needed use drip irrigation (automatic controls) plus devices to turn on and/or water.

Foundation:
Incorporate at least 25% recycled fly ash in concrete.
Use recycled content in rubble for backfill drainage.
Insulate foundation before backfill.

Structural:
No dimensional lumber over 2 x 6 is allowed.
Substitute "Solid Sawn Lumber" with "Engineered Lumber".
Use forest stewardship council (FSC) certified wood for framing.
Use wood I-Joists, for floors and ceilings.
Use OSB for Sub-Floor and Sheathing.
Use reclaimed/salvaged lumber.

Exterior Finishes:
For decking materials use recycled/reclaimed wood, recycled composite lumber, or FSC certified wood.
Use sustainable siding materials such as mineral/cement fiber board.
Use earth-based plaster.
Use formaldehyde-free composite materials for paintable trim instead of wood.

Water Efficiency:
Install flow reducers in faucets and shower heads.

Plumbing:
Insulate all hot water pipes.
Install flow reducers: Faucets & showerheads.
Install ultra-low flush toilets.
Install tankless water heaters as required.
Install water filtration units at faucets.

Renewable & Solar Energy:
Design for natural cooling to eliminate air conditioning.
Incorporate passive solar heating.
Installation of wire conduits for future solar array, install a grid-integrated photovoltaic (PV) or wind energy system as specified.

Indoor air quality (IAQ) finishes:
Use low-VOC and formaldehyde-free paint.

Use low-VOC, water-based wood finishes.
Use solvent-free adhesives.
Use non-CCA treated materials.
Substitute particleboard with formaldehyde-free materials.
Use exterior grade plywood for interior uses.
Seal all exposed particleboard as MDF.
Use FSC certified trim material.
Use finger-jointed trim.
Utilize an alternative to PVC. Production and burning of PVC is highly toxic.
Install a central vacuum system as specified.
Air out project with natural ventilation for at least one week between end of construction and occupancy.

Electrical:
Install compact fluorescent light bulbs.
Install insulation-compatible recessed lighting.
Install lighting controls.
Install ceiling fans in climate zone 2.
Meet the best incentive program requirements by exceeding Title 24 by 20%.

Appliances:
Install gas fireplaces instead of wood burning, fireplaces to comply w/ 2008 Monterey County requirements.
Install an "Energy Star" dishwasher.
Install an "Energy Star" horizontal axis washing machine.
Install an "Energy Star" refrigerator.

Roofing:
Minimum 24" overhangs.
Use durable, fire safe roofing materials such as metal, concrete tile, clay tile or mineral fiber tile.

Insulation:
Upgrade wall and ceiling insulation to exceed Title 24 requirements.
Minimum: R-30 Attic; R-20 Crawlspace; R-19 Walls.
Install recycled content, formaldehyde-free fiberglass insulation.
Use cellulose insulation.
Insulate the underside of roof as to locate all ductwork and mechanical systems inside conditioned space.

Window & Doors:
Install energy-efficient low-E2 double-glazed windows and doors.
Use wood or thermal break metal frames for window and sliding doors.

Heating Ventilation & Air conditioning (HVAC):
Install sealed combustion units: Furnace & H2O heaters.
Use duct mastic on all duct joints.
Install ductwork within conditioned space.
Year range hood to the outside.
Clean all ducts before occupancy.

Install attic ventilation where specified.
Install 50% or greater efficiency gas forced air furnace.
Install zoned, hydronic, radiant heating and insulate under entire slab and at edges.
Install high efficiency particulate air (HEPA) filters.
Install heat recovery ventilation unit (HRV).
Provide blower door testing as specified.

GENERAL NOTES

- CONTRACTOR LICENSE:** THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE:** THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL:** IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND THE DESIGNER SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FEEL NECESSARY.
- WARRANTY:** THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS:** UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL/NOTICES/CODE COMPLIANCE:** THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNER IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2012 U.B.C.)
- CONSTRUCTION RESPONSIBILITY:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- JOB SITE SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- INSURANCE:** LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THE INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.

APPLICABLE CODES

PROJECT SHALL COMPLY WITH THE:

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA FIRE CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA ENERGY CODE
- 2013 ACCESS COMPLIANCE

UTILITIES:

- GAS
- ELEC.
- SEWER
- WATER
- PG&E
- PG&E
- MRWPCA
- DOMESTIC - CAL AM

PROJECT DATA

A.P.N.: 006054002
ZONING: R1
SITE AREA: 6,343 SQ. FT.
BLDG USE: RESIDENTIAL
OCC. GROUP: R3 U1
CONST. TYPE: V
CLIMATE ZONE: 4
BLDG. CODE: 2013 CBC
FIRE SPRINKLERS: REQUIRED

LEGAL DESC'N:
LOT 2, BLOCK 352
FAIRWAY HOMES TRACT
VOLUME 3, CITIES & TOWNS, PAGE 86

SITE COVERAGE ALLOWED	2,537.6 SQ. FT.	40%
LOT AREA	6,344 SQ. FT.	
EXISTING IMPERVIOUS SITE COVERAGE	2,000 SQ. FT.	31%
PROPOSED SITE COVERAGE	2,354 SQ. FT.	37%
GROSS FLOOR AREA ALLOWED	3,008.6 SQ. FT.	
EXISTING RESIDENCE	1,550 SQ. FT.	
PROPOSED ADDITION	1,445 SQ. FT.	
PROPOSED G.F.A	3,003 SQ. FT.	
BUILDING HEIGHT MAX. HEIGHT ALLOWED	25 FT.	
PARKING SPACES COVERED		
LANDSCAPING (PERMEABLE)	1,490 SQ. FT.	
NO TREES TO BE REMOVED		

ABBREVIATIONS

ALT.	Alternate
BLKG	Blocking
BM	Beam
CONT.	Continuous
CONC.	Concrete
D.F.	Douglas Fir
DCKG	Decking
DIA.	Diameter
[E]	Existing
EA.	Each
E.N.	Edge Nailing
ETC.	Etcetera
EXT.	Exterior
FLR	Floor
FNDN	Foundation
F.N.	Face Nail
FRMG	Framing
FTG	Footing
GA.	Gauge
GALV.	Galvanized

HDR	Header
HGR	Hanger
JSTS	Joists
[N]	New
o.c.	On Center
OPNG	Opening
PLYWD	Plywood
P.T.	Pressure Treated
RDWD	Redwood
RFTR	Rafter
REQ'D	Required
RET.	Retaining
SHTHG	Sheathing
SIM.	Similar
T & B	Top and Bottom
T & G	Tongue and groove
TYP.	Typical
T.N.	Toe Nail
U.O.N.	Unless Otherwise Noted

VICINITY MAP



SCOPE OF WORK

1. REMODEL/ADDITION TO EXISTING RESIDENCE
DEMO 133 LF. 72% OF EXT. WALL
DEMO/ALTER 1550 SQ. FT.
(E) FOUNDATION SYSTEM TO REMAIN
(N) FOUNDATION WHERE APPLICABLE
FIRST FLOOR TO BE 2247 SQ. FT.
SECOND FLOOR TO BE 756 SQ. FT.
EQUALING 3,003 SQ. FT. G.F.A

PROJECT TEAM

DESIGNER:
MONTEREY DESIGN INC.
338 HANNON AVE.
MONTEREY, USA 93940
PHONE: 831.392.7788
CONTACT: CHAD BROWN

STRUCTURAL ENGINEER:
WILLIAM COKER P.E.
P: 831.809.7469

TITLE 24 ENGINEER:
MONTEREY ENERGY GROUP
26465 CARMEL RANCHO BLVD. #8,
CARMEL, CA 93923
P: 831.372.8328
CONTACT: DAVID KNIGHT

SHEET INDEX

SMALL PROJECT SHEET INDEX	
A.01	TITLE SHEET
A.02	SURVEY
A.03	SITE PLAN
A.04	DEMOLITION PLANS
A.05	FIRST FLOOR PLAN
A.06	SECOND FLOOR PLAN
A.07	ROOF PLAN
A.08	NORTH ELEVATION
A.09	SOUTH ELEVATION
A.10	EAST ELEVATION
A.11	WEST ELEVATION
A.12	BUILDING SECTIONS
A.13	DOOR SCHEDULE
A.14	WINDOW SCHEDULE
A.15	WINDOW/DOOR DETAILS
A.16	PHOTO MONTAGE
A.17	SUN STUDIES
A.18	MATERIALS & COLORS

Applicant(s): CHAD BROWN	Permit Type(s) & No(s): BULL2
Zone District	R1
Building Site Area	10344
Density (multi-family projects only)	1550
Building Coverage	2247
Site Coverage	1865
Gross Floor Area	1550
Square Footage not counted towards Gross Floor Area	1406
Exterior Lateral Wall Length to be demolished in feet & % of total*	183
Exterior Lateral Wall Length to be built	141
Building Height	10-8
Number of stories	2
Front Setback	15
Side Setback (specify side)	3
Side Setback (specify side)	3
Rear Setback	10
Garage Door Setback	10-4 1/4
Covered Parking Spaces	2
Uncovered Parking Spaces	2
Parking Space Size (Interior measurement)	9 x 20
Number of Driveways	1
Driveway Width(s)	15-5
Back-up Distance	10-4
Eave Projection (into Setback)	3' maximum
Distances Between Eaves & Property Lines	3' minimum
Open Porch/Deck Projections	-
Architectural Feature Projections	-
Number & Category of Accessory Buildings	-
Accessory Building Setbacks	-
Distance between Buildings	-
Accessory Building Heights	-
Fence Height	6'8"



338 Hannon Ave.
Monterey, Ca 93940
P: 831.392.7788
F: 805.544.5642

SIGNATURE: _____ DATE: _____

WESENBERG REMODEL ADDITION
ROBERT WESENBERG
1143 RIPPLE AVE
PACIFIC GROVE, CA 93950
P: 831.915.4357
APN: 006-054-002

TITLE SHEET

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014

CAD File: #####

Sheet: A.01

NOTES:

7a

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. THE BENCHMARK IS THE FINISHED FLOOR. ELEVATION = 100.00'.
- CONTOUR INTERVAL = 1 FOOT.
- +99.99' DENOTES GROUND ELEVATIONS AS SHOWN.
- ⊕99.99' DENOTES ROOFPEAK ELEVATIONS AS SHOWN.

LEGEND:

- FENCE LINE
- CSA CRAWL SPACE ACCESS
- DCO DRAIN CLEAN OUT
- FFE FINISHED FLOOR ELEVATION
- HB HOSE BIB
- WM WATER METER



TOPOGRAPHIC SURVEY

OF
 LOT 2, BLOCK 352
 FAIRWAY HOMES TRACT
 VOLUME 3, CITIES & TOWNS, PAGE 86

CITY OF PACIFIC GROVE COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
ROBERT WESENBERG

BY
MONTEREY BAY ENGINEERS, INC.
 CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING
 607 Charles Ave Suite B Seaside, California 93955
 Phone: (831) 899-7899

SCALE: 1" = 8' JOB No. 13-024 APRIL 2013
 FIELD: TDM & END DRAWN BY: TDM

LOT 1

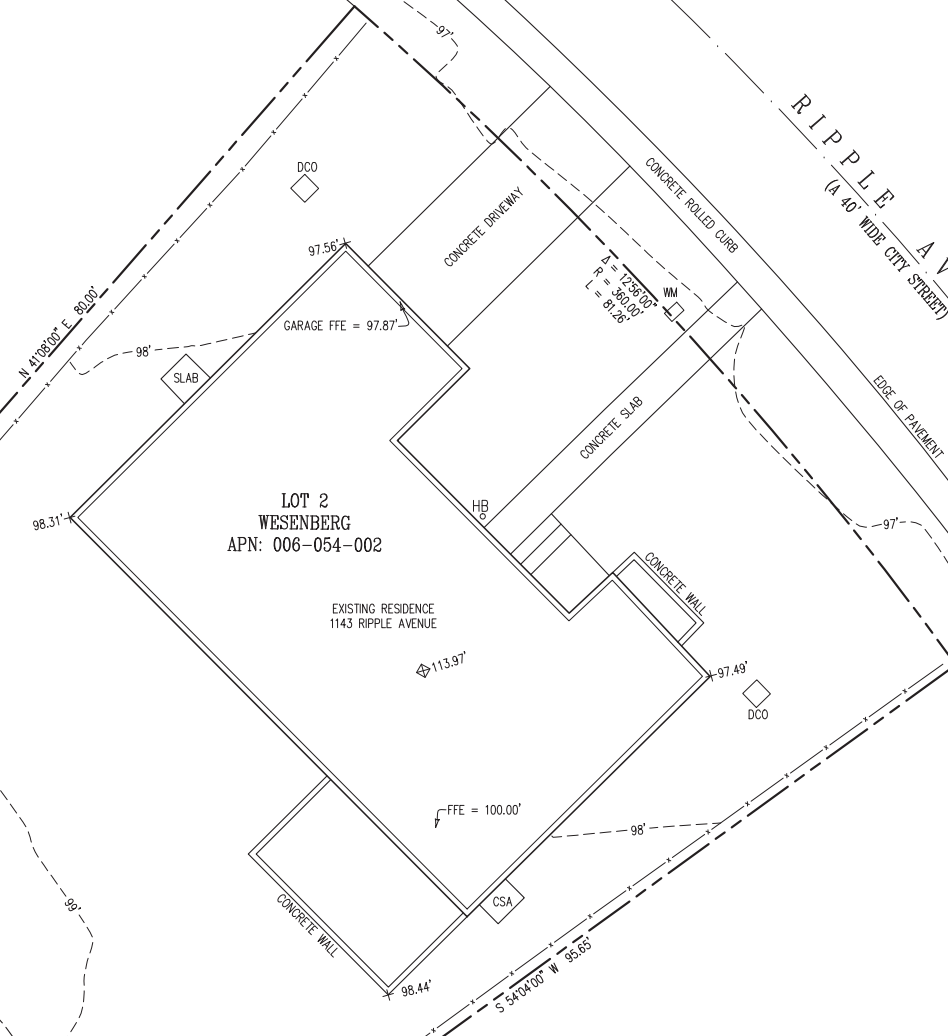
LOT 23

LOT 3

LOT 2
 WESENBERG
 APN: 006-054-002

EXISTING RESIDENCE
 1143 RIPPLE AVENUE

RIPPLE AVENUE
 (A 40' WIDE CITY STREET)



SIGNATURE _____ DATE _____

WESENBERG REMODEL ADDITION
 ROBERT WESENBERG
 1143 RIPPLE AVE
 PACIFIC GROVE, CA 93950
 P: 831.915.4357
 APN: 006-054-002

SITE PLAN

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014
 CAD File: #####
 Sheet: A.03



WALL LEGEND:

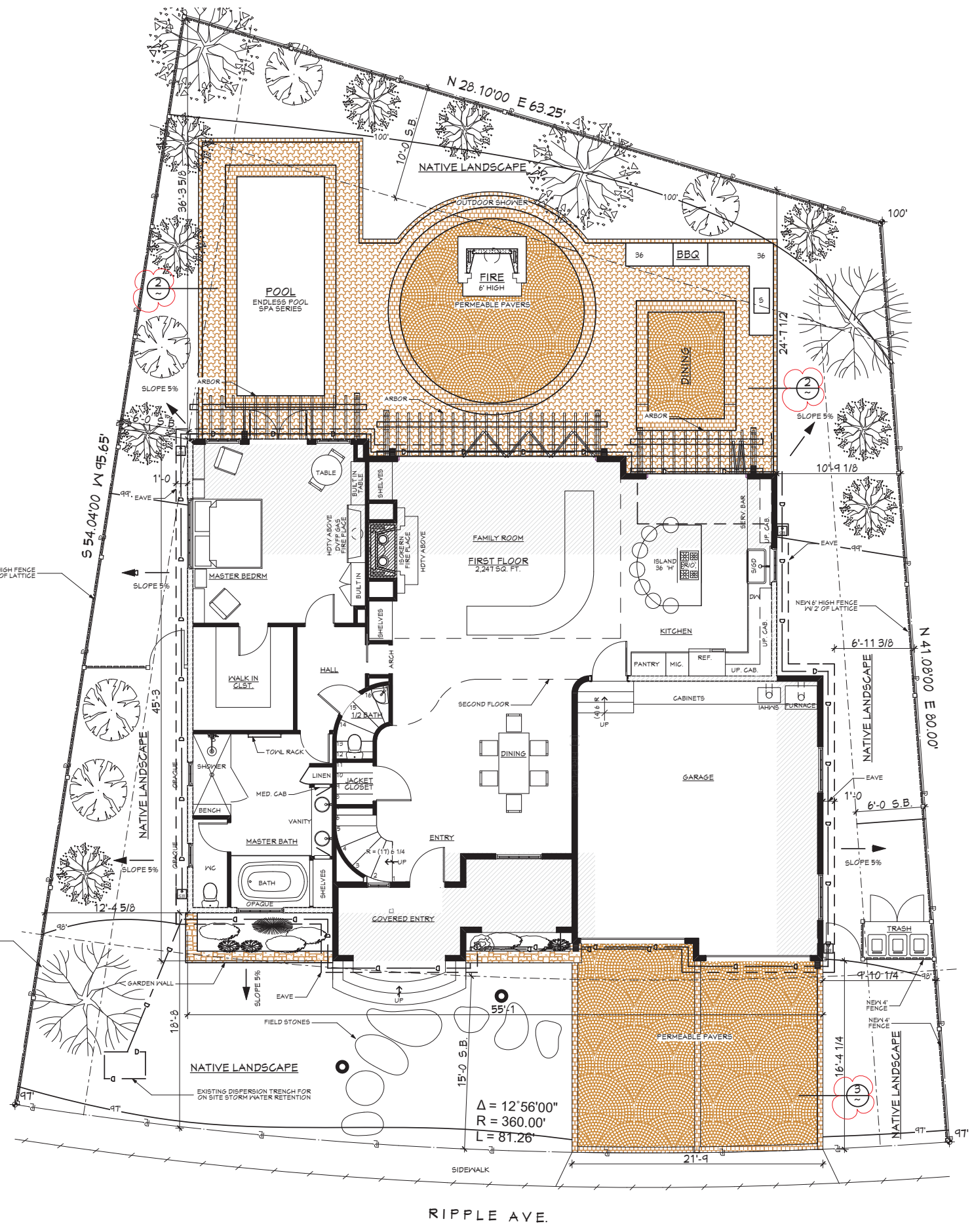
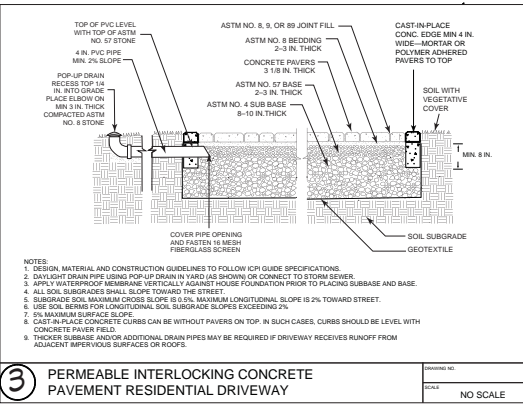
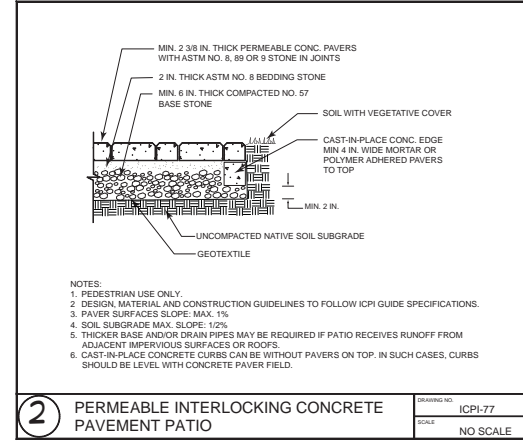
- EXISTING
- NEW
- TO BE REMOVED
- ALTERED

SYMBOL LEGEND

- WATER LINE
- ELECTRIC LINE
- DRAINAGE LINE
- GAS LINE
- SEWER LINE
- PROPERTY LINE
- SET BACK
- EDGE OF ASPHALT
- ROOF OVERHANG
- CENTER OF RD
- SITE SECTION
- TOPO LINE
- CLEAN OUT
- CATCH BASIN
- SPLASH BLK. W/ CB
- TREE PROTECTION
- EXTERIOR LIGHT
- EXT. WALL MOUNT

SITE NOTES:

1. PROPERTY LINES WERE DETERMINED BY MONTEREY BAY ENGINEERS, INC. LAND SURVEY
2. TWO STORIES
3. ORIGINAL CONSTRUCTION: 1950
NO SUBSEQUENT ADDITIONS OR MODIFICATIONS.
4. PROPOSED DEMOLITION
5. PROPOSED ADDITION

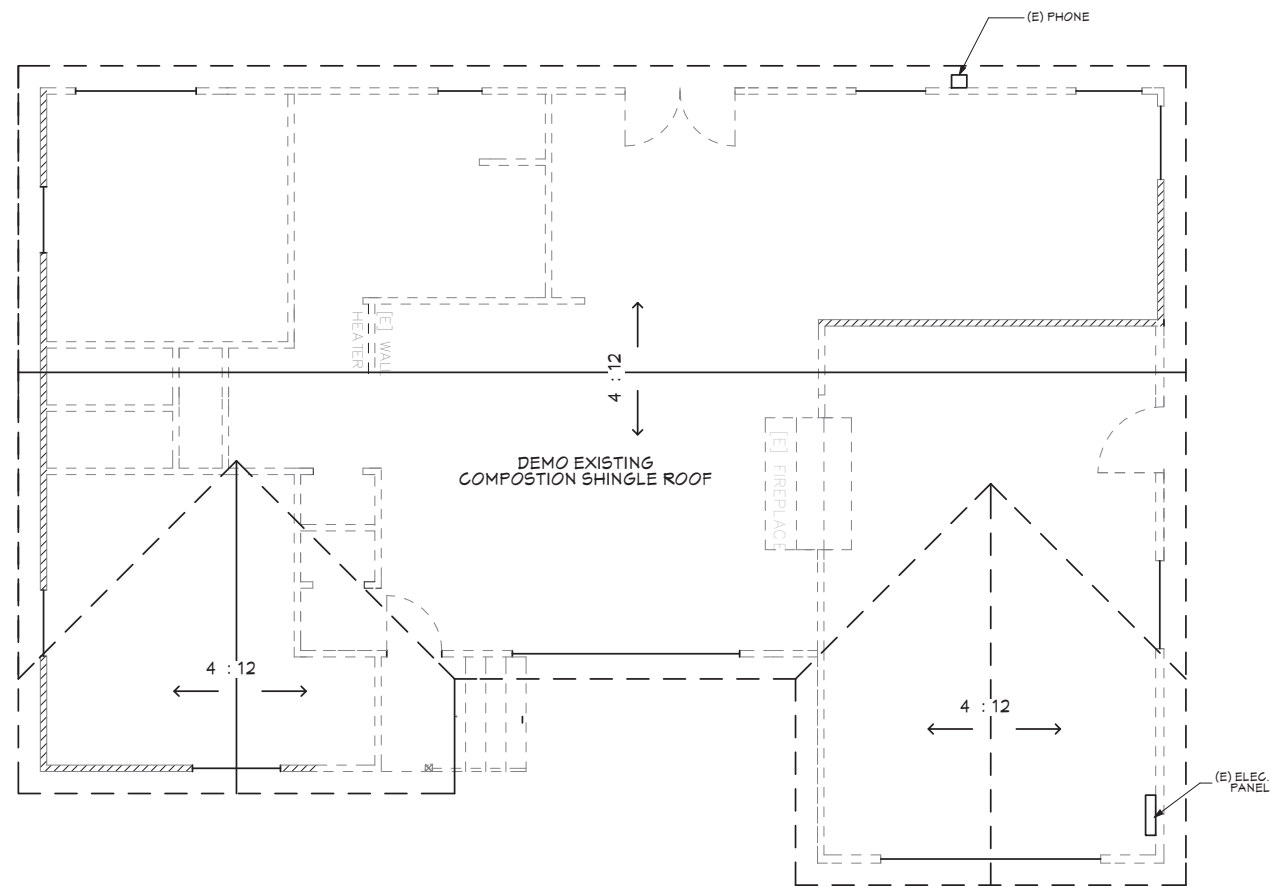




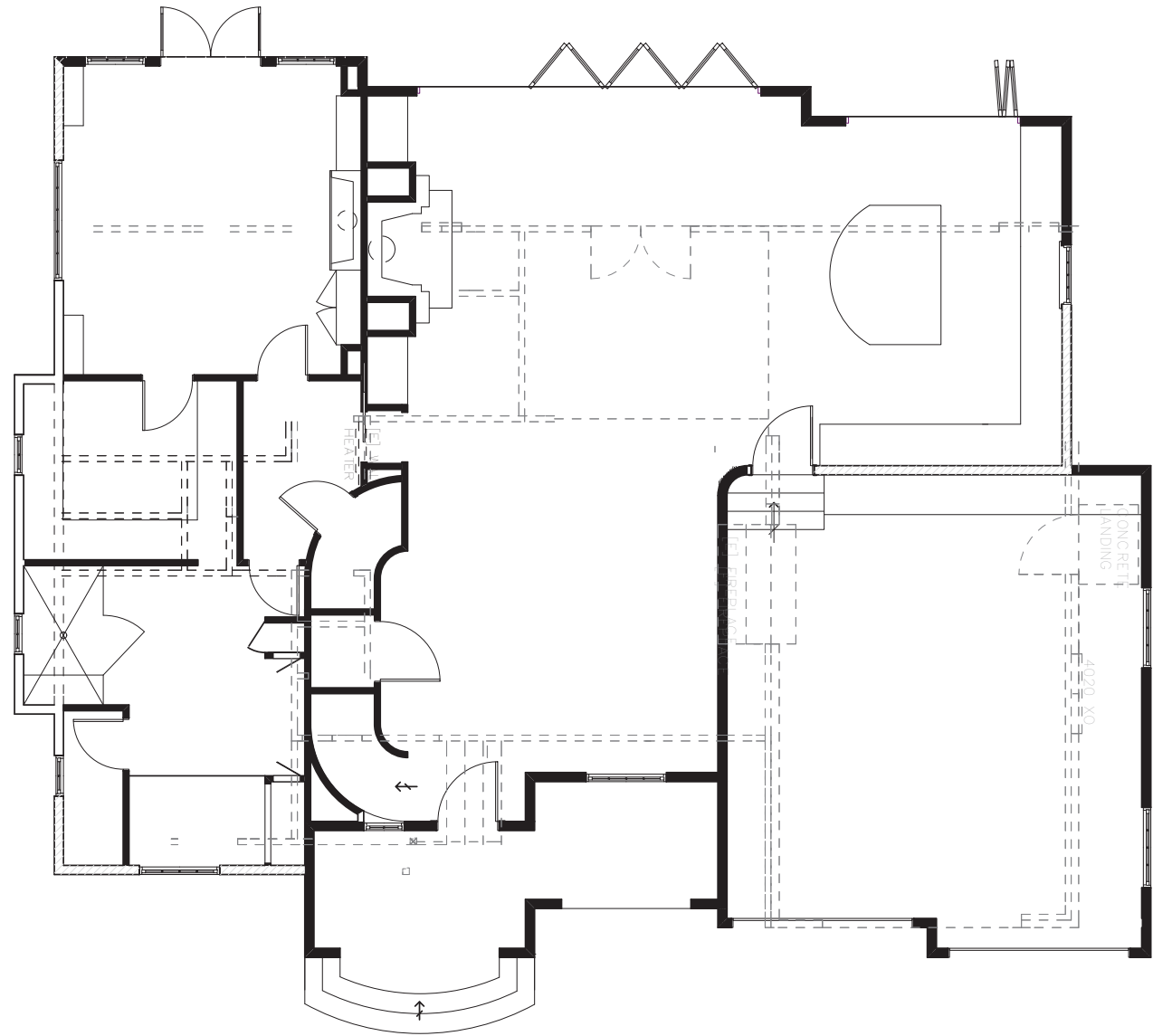
338 Hannon Ave.
 Monterey, Ca 93940
 p.831.392.7788
 f.805.544.5642

Monterey design, Inc.

SIGNATURE _____ DATE _____



DEMOROOFPAN
 1/4" = 1'-0" | 2



DEMO PLAN
 1/4" = 1'-0" | 1

WALL LEGEND:

- EXISTING
- NEW
- TO BE REMOVED
- ALTERED

WESENBERG REMODEL ADDITION

ROBERT WESENBERG
 1143 RIPPLE AVE
 PACIFIC GROVE, CA 93950
 P: 831.915.4357
 APN: 006-054-002

DEMOLITION PLANS

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014
 CAD file: ####

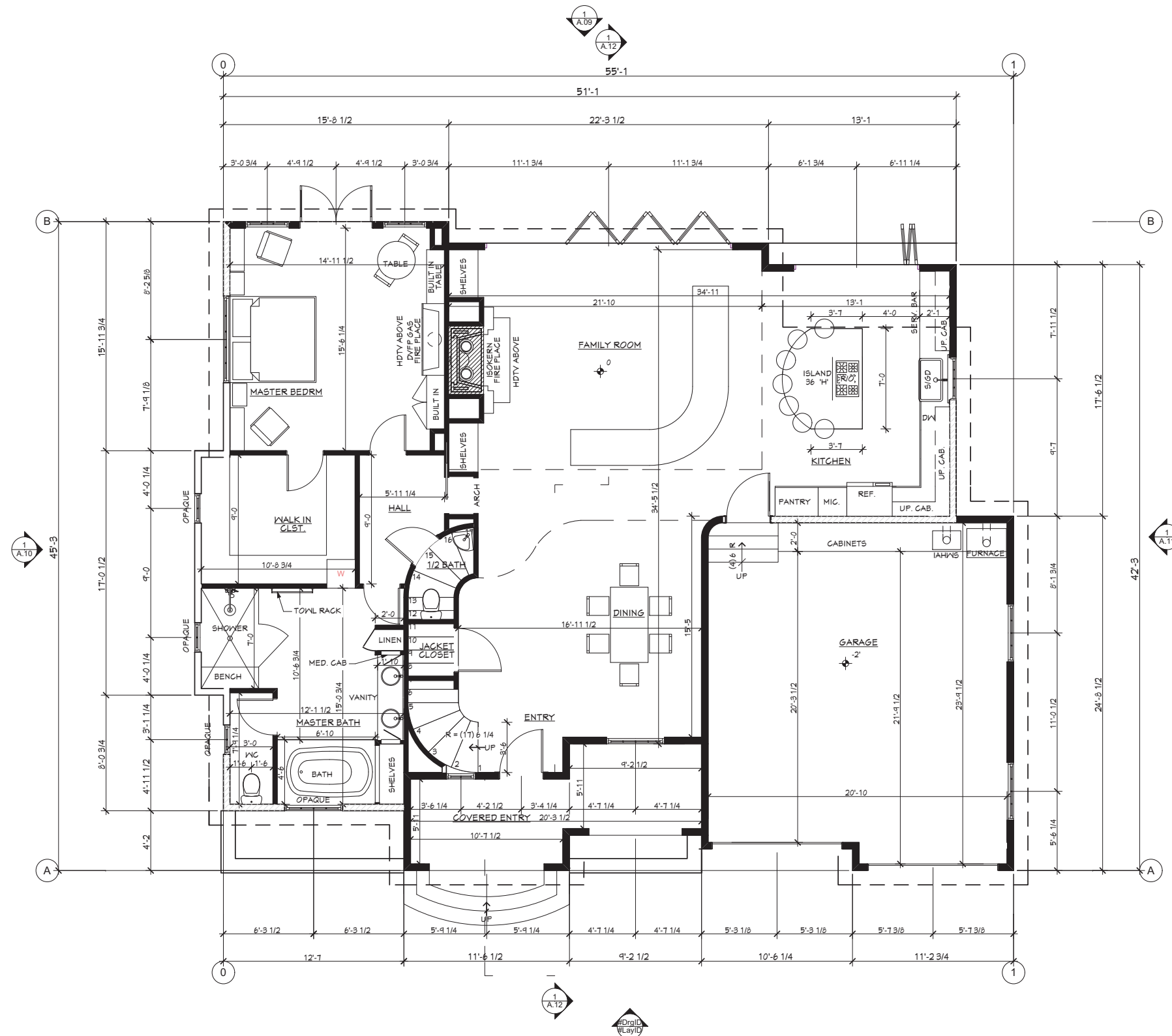
Sheet
A.04



338 Hannon Ave.
 Monterey, Ca 93940
 p.831.392.7788
 f.805.544.5642

Monterey design, Inc.

SIGNATURE _____ DATE _____



WALL LEGEND:
 EXISTING
 NEW
 TO BE REMOVED
 ALTERED

WESENBERG REMODEL ADDITION
 ROBERT WESENBERG
 1143 RIPPLE AVE
 PACIFIC GROVE, CA 93950
 P: 831.915.4357
 APN: 006-054-002

FIRST FLOOR PLAN

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014
 CAD file: #####
 Sheet: A.05







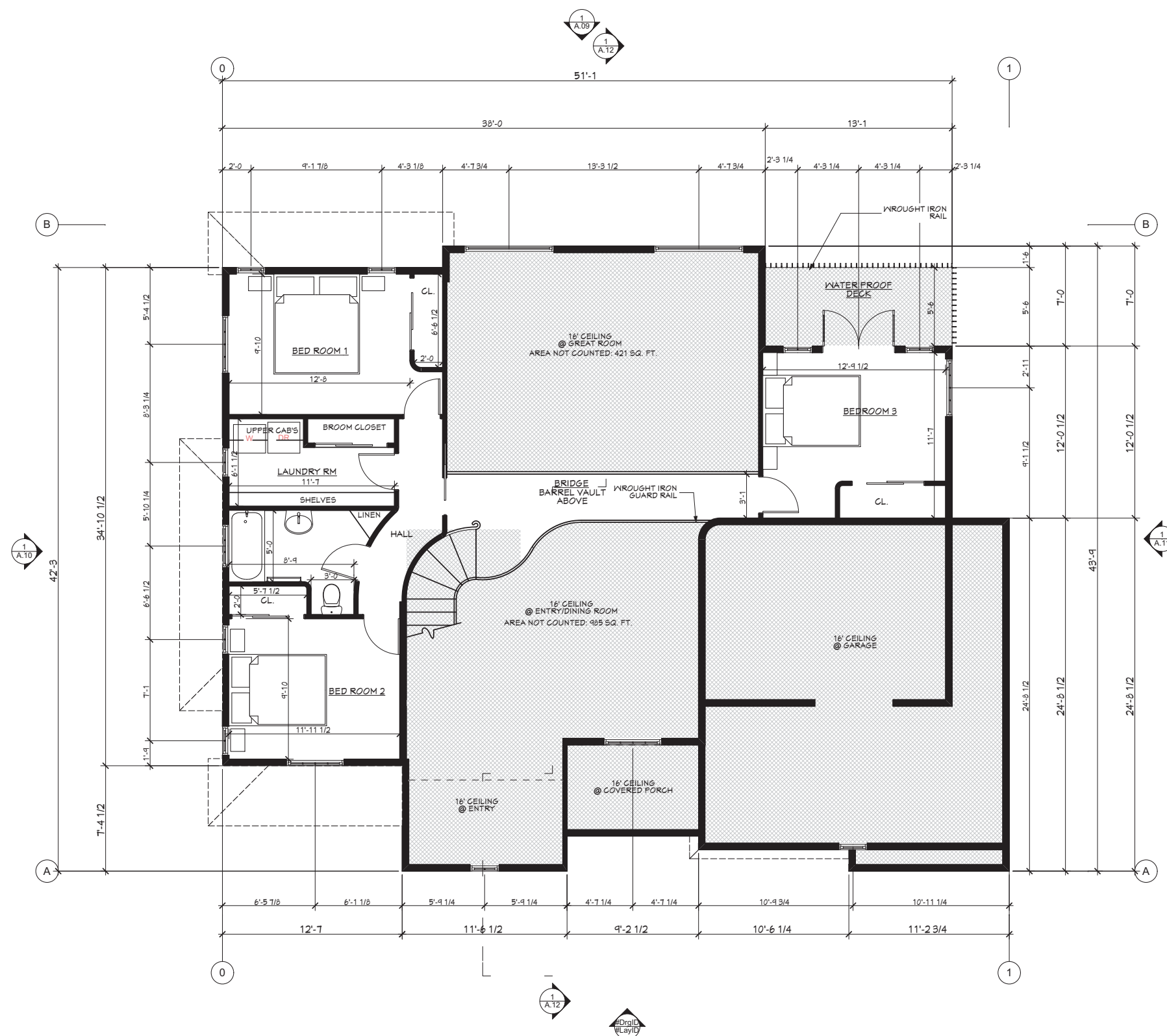
Monterey design, Inc.

338 Hannon Ave.
Monterey, Ca 93940
p.831.392.7788
f.805.544.5642

SIGNATURE _____ DATE _____

WALL LEGEND:

- EXISTING 
- NEW 
- TO BE REMOVED 
- ALTERED 



WESENBERG REMODEL ADDITION

ROBERT WESENBERG
1143 RIPPLE AVE
PACIFIC GROVE, CA 93950
P: 831.915.4357
APN: 006-054-002

SECOND FLOOR PLAN

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

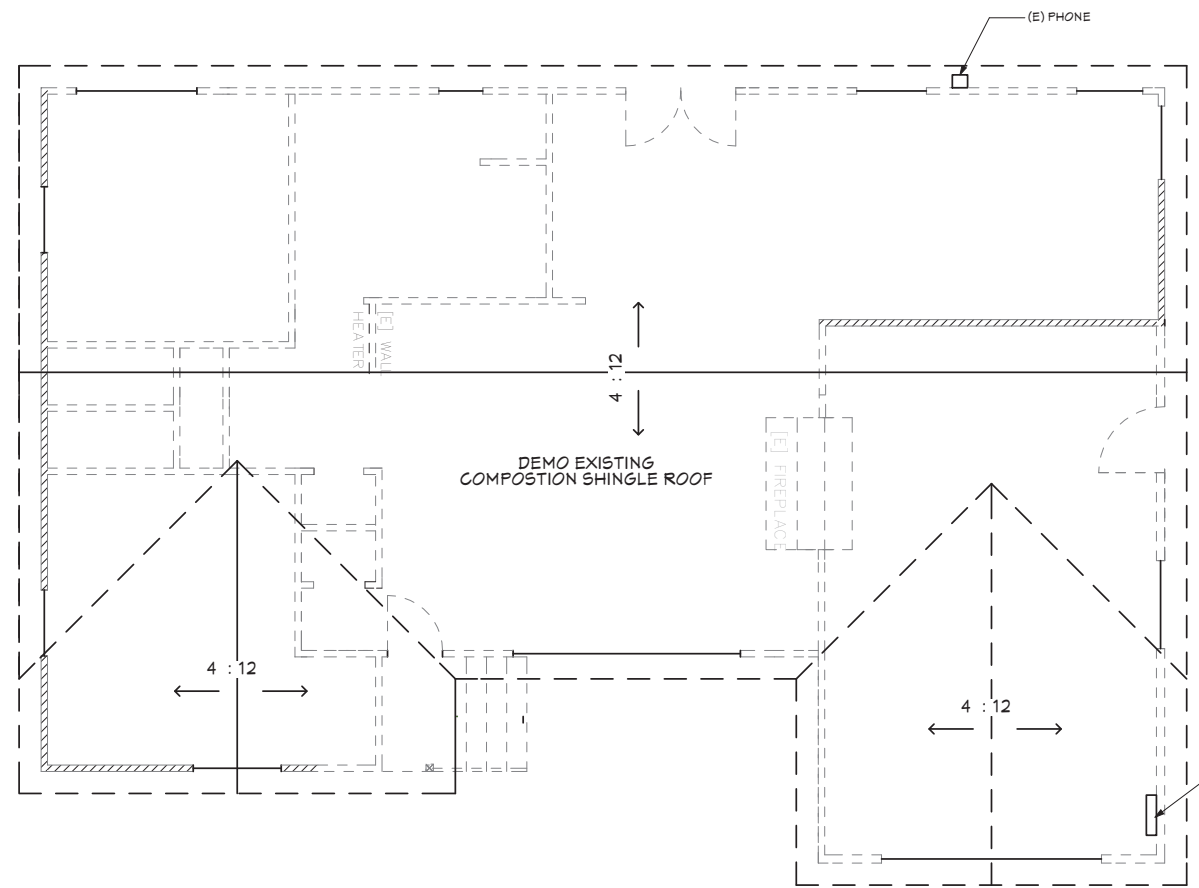
Date: JUNE 1, 2014
 CAD file: #####
 Sheet: A.06



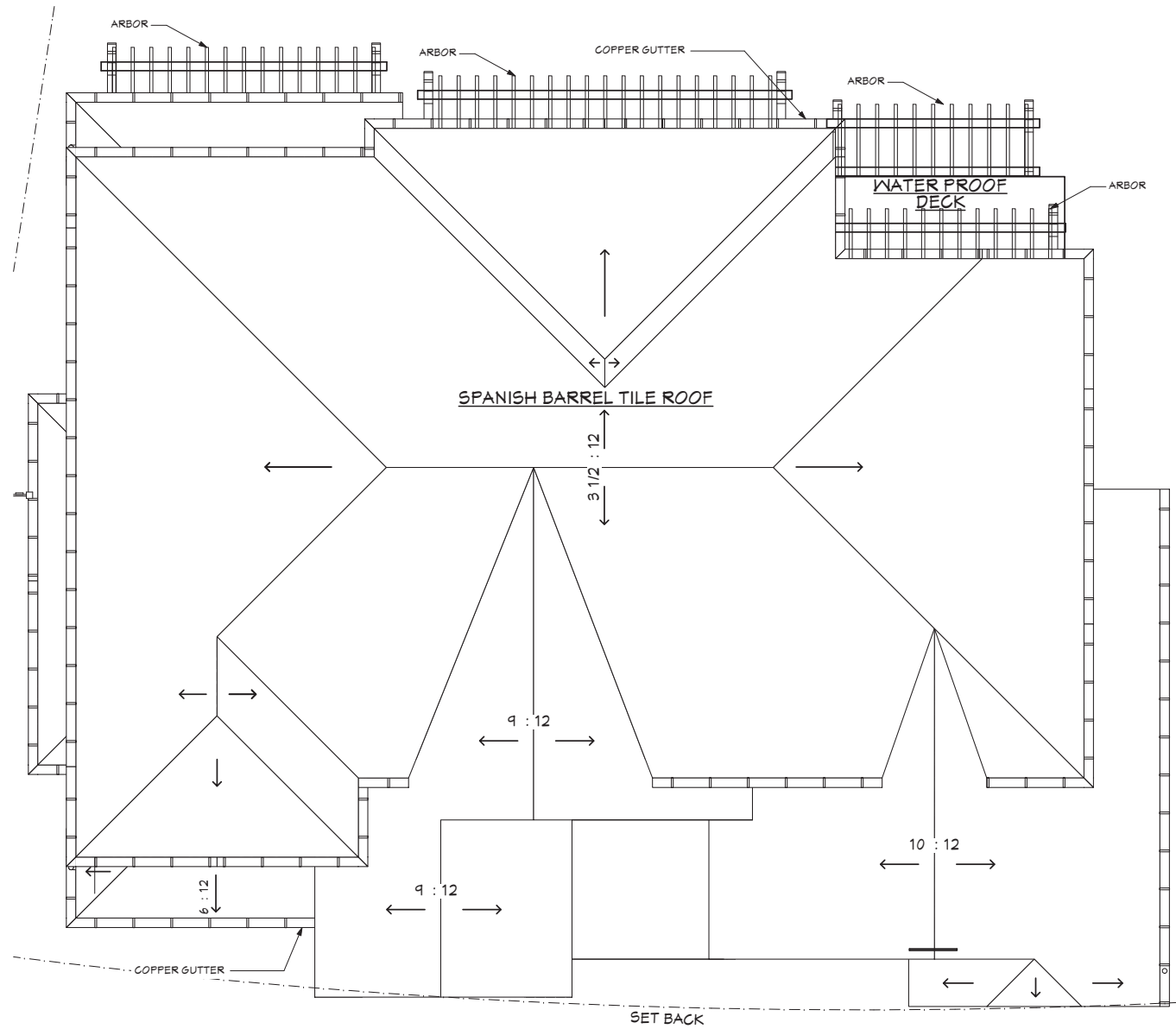
338 Hannon Ave.
 Monterey, Ca 93940
 p.831.392.7788
 f.805.544.5642

Monterey design, Inc.

SIGNATURE _____ DATE _____



EXISTING ROOF PLAN 2
 1/4" = 1'-0"



PROPOSED ROOF PLAN 1
 1/4" = 1'-0"

WESENBERG REMODEL ADDITION

ROBERT WESENBERG
 1143 RIPPLE AVE
 PACIFIC GROVE, CA 93950
 P: 831.915.4357
 APN: 006-054-002

ROOF PLAN

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014

CAD file: #####

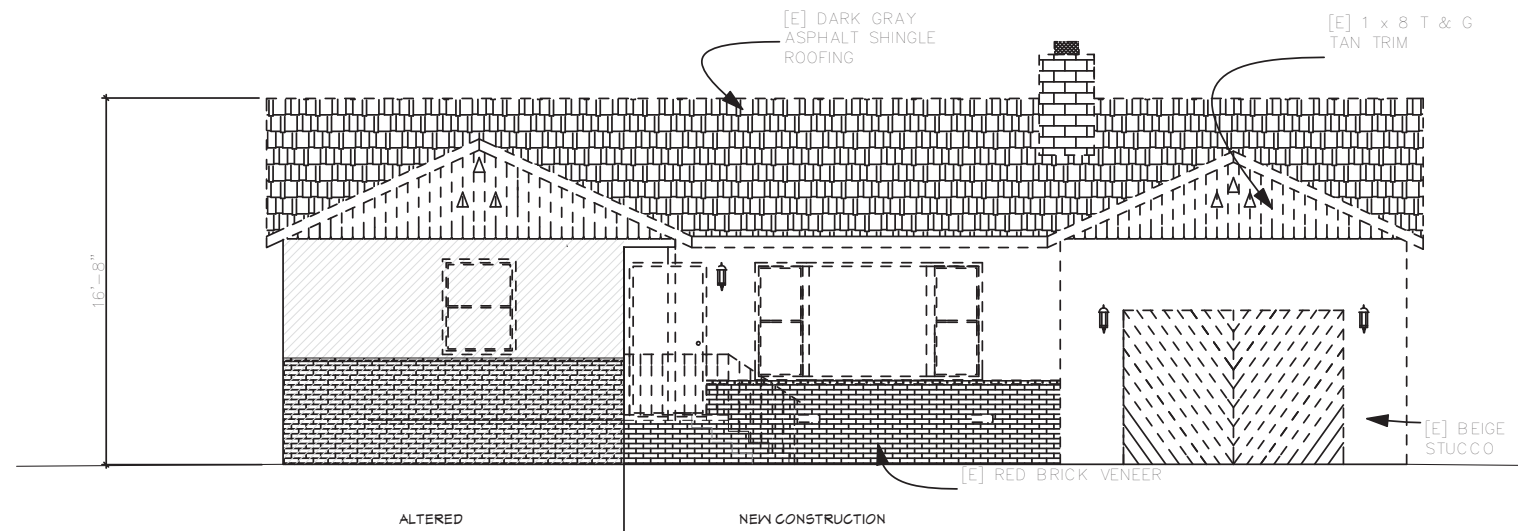
Sheet

A.07



NORTH ELEVATION
1/4" = 1'-0"

1



EXISTING NORTH ELEVATION
1/4" = 1'-0"

2



338 Hannon Ave.
Monterey, Ca 93940
p.831.392.7788
f.805.544.5642

Monterey design, inc.

SIGNATURE _____ DATE _____

WESENBERG REMODEL ADDITION

ROBERT WESENBERG
1143 RIPPLE AVE
PACIFIC GROVE, CA 93950
P: 831.915.4357
APN: 006-054-002

NORTH ELEVATION

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014

CAD file #####

Sheet

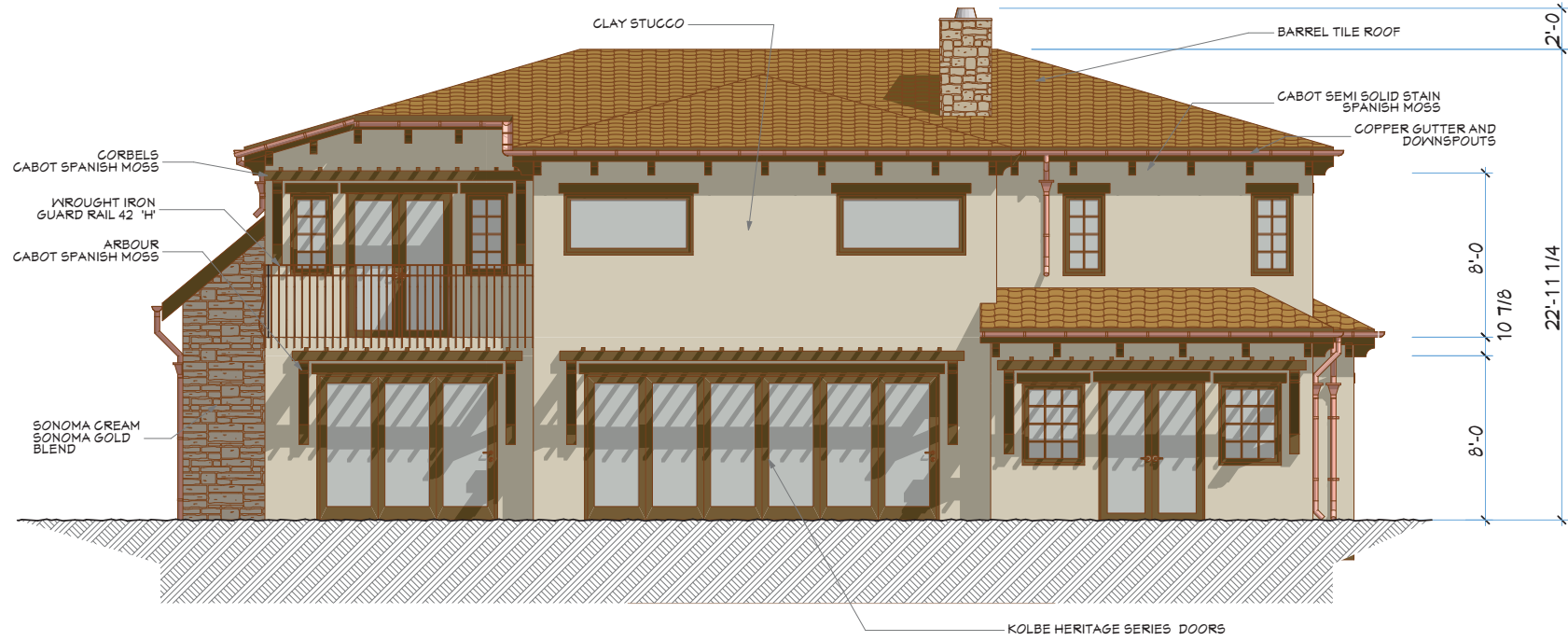
A.08



Monterey design, Inc.

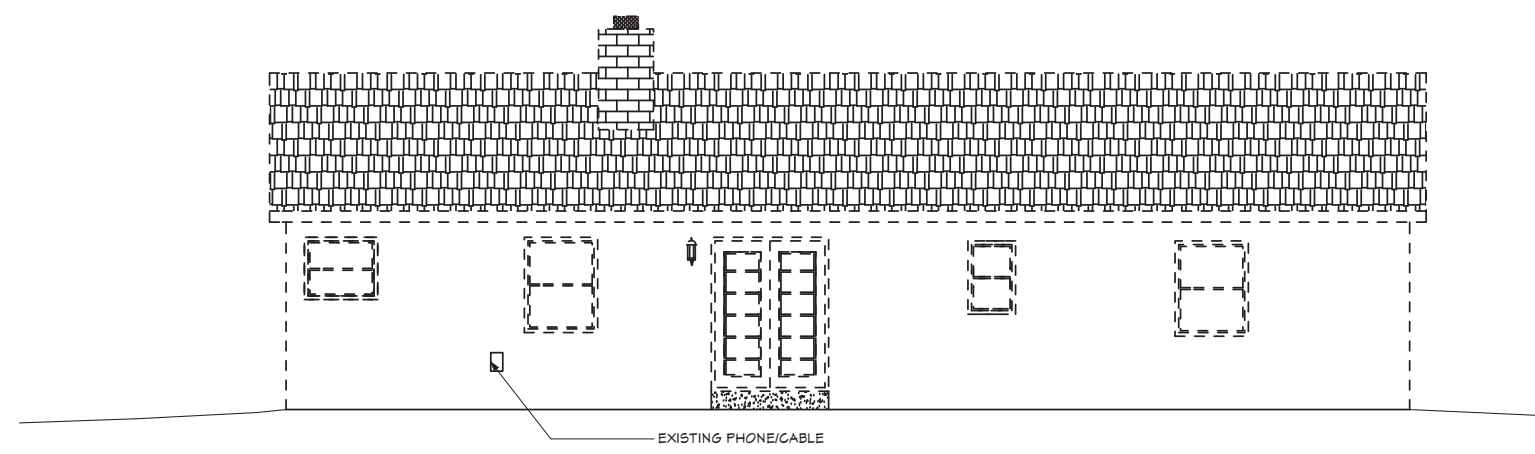
338 Hannon Ave.
Monterey, Ca 93940
p.831.392.7788
f.805.544.5642

SIGNATURE _____ DATE _____



SOUTH ELEVATION
1/4" = 1'-0"

1



EXISTING SOUTH ELEVATION
1/4" = 1'-0"

2

WESENBERG REMODEL ADDITION

ROBERT WESENBERG
1143 RIPPLE AVE
PACIFIC GROVE, CA 93950
P: 831.915.4357
APN: 006-054-002

SOUTH ELEVATION

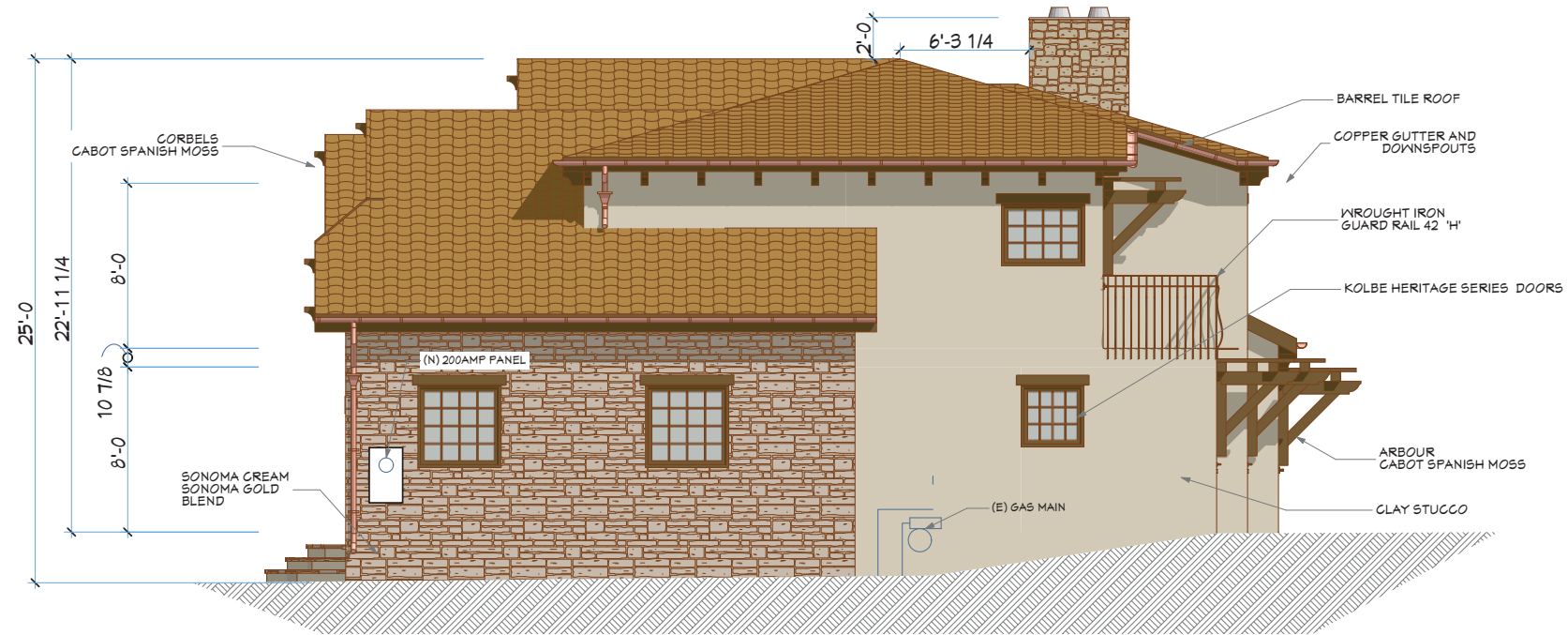
No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014

CAD file #####

Sheet

A.09



Md
 Monterey design, Inc.
 338 Hannon Ave.
 Monterey, Ca 93940
 p.831.392.7788
 f.805.544.5642

SIGNATURE _____ DATE _____

WESENBERG REMODEL ADDITION
 ROBERT WESENBERG
 1143 RIPPLE AVE
 PACIFIC GROVE, CA 93950
 P: 831.915.4357
 APN: 006-054-002

WEST ELEVATION

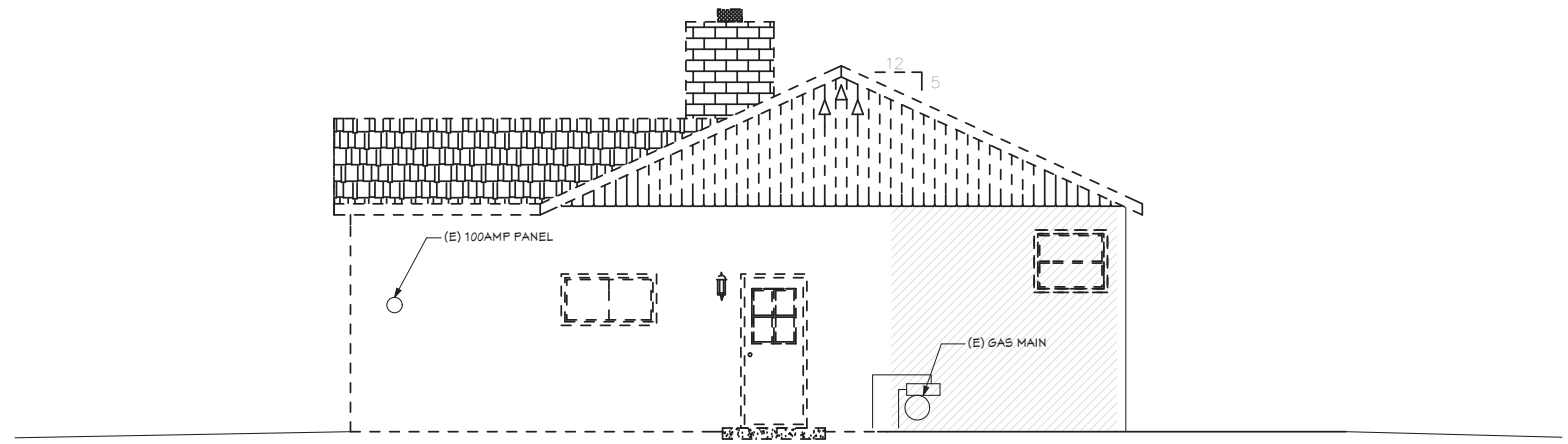
No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014
 CAD file: #####
 Sheet: A.11

A.11

WEST ELEVATION
 1/4" = 1'-0"

1



EXISTING WEST ELEVATION
 1/4" = 1'-0"

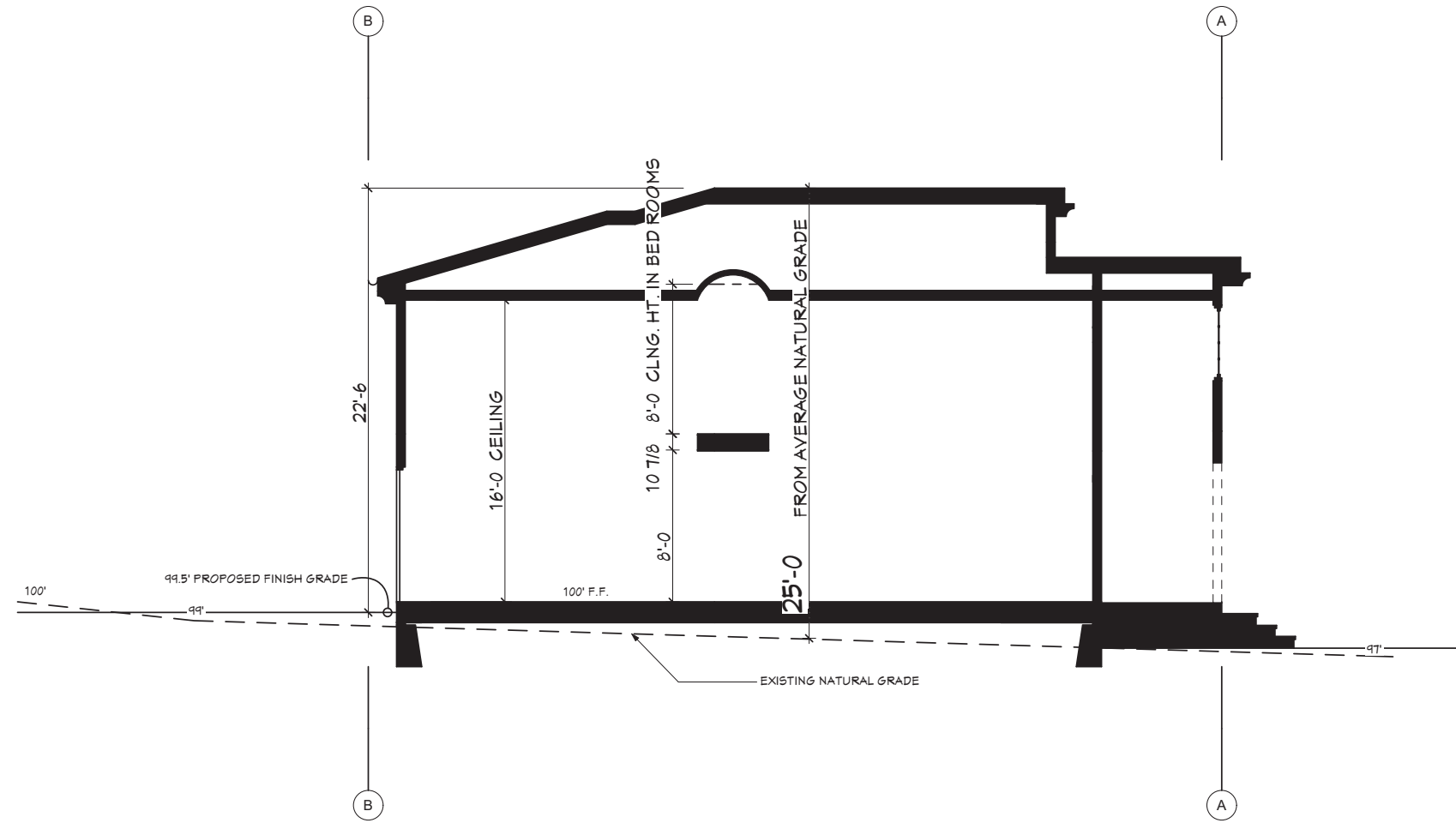
2



338 Hannon Ave.
 Monterey, Ca 93940
 p.831.392.7788
 f.805.544.5642

Monterey design, Inc.

SIGNATURE _____ DATE _____



SECTION
 1/4" = 1'-0"

1

WESENBERG REMODEL ADDITION

ROBERT WESENBERG
 1143 RIPPLE AVE
 PACIFIC GROVE, CA 93950
 P: 831.915.4357
 APN: 006-054-002

BUILDING SECTIONS

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014

CAD file: #####

Sheet

A.12

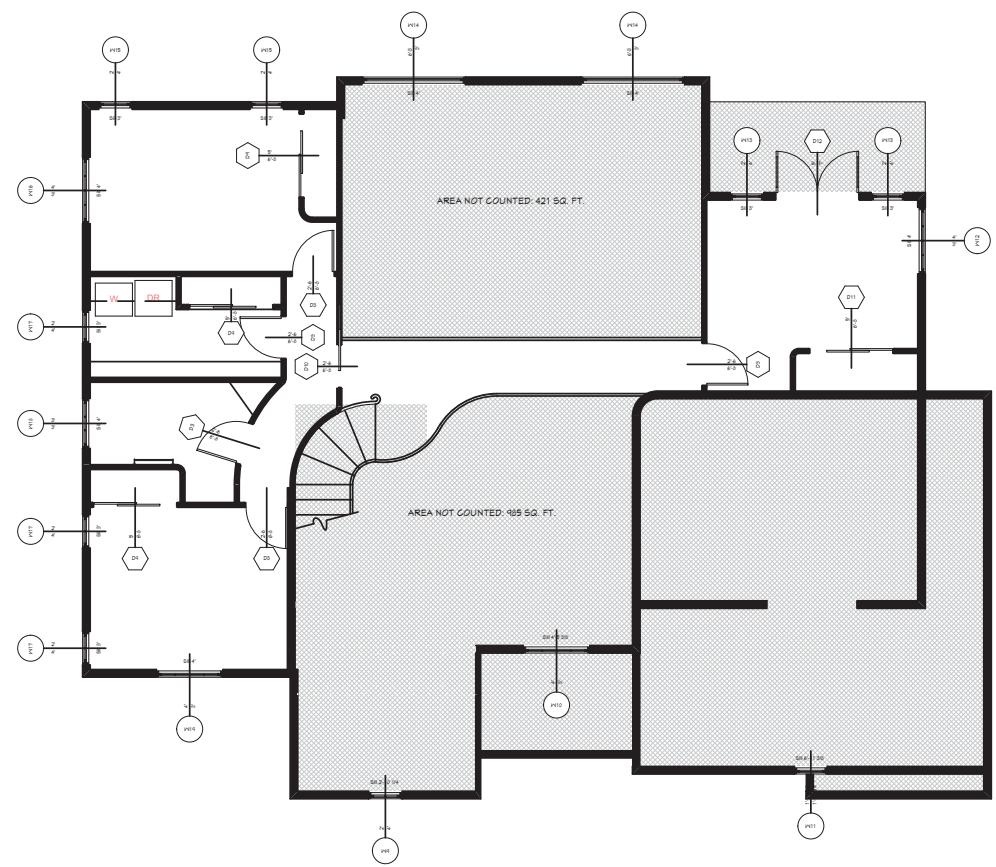


Monterey design, Inc.

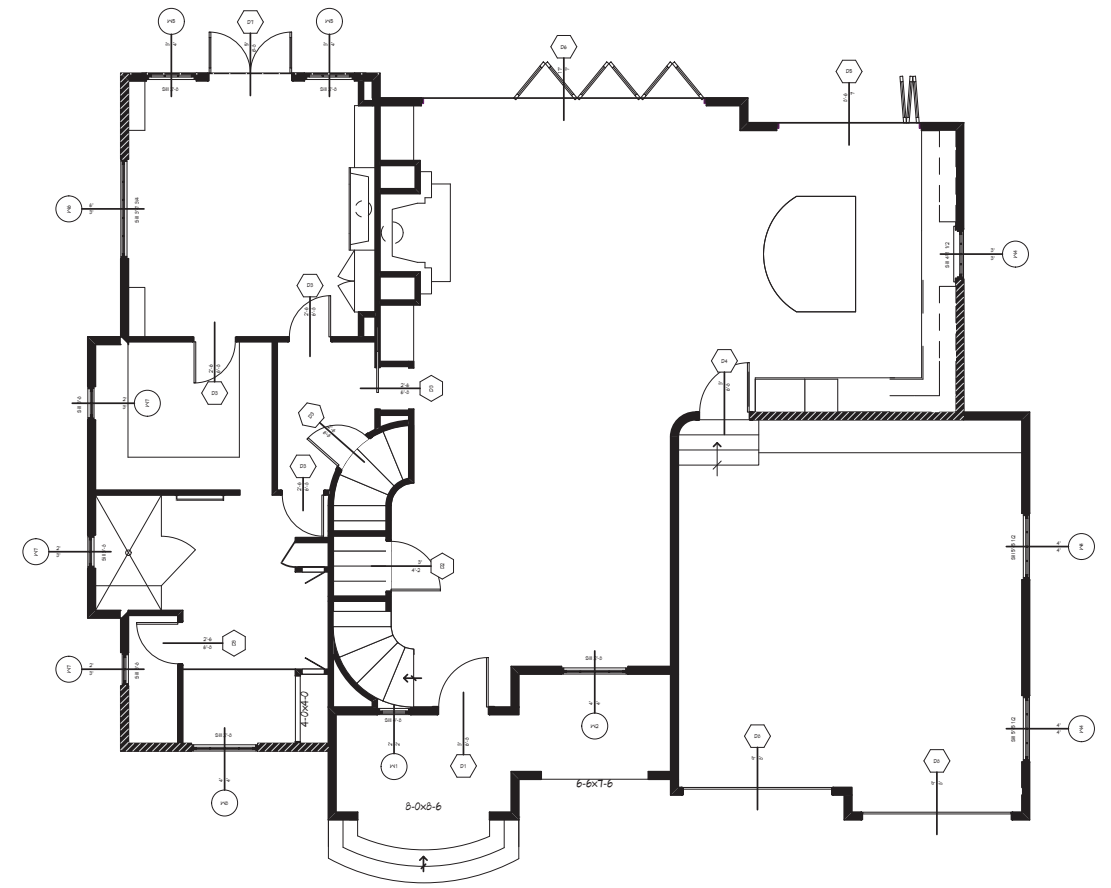
338 Hannon Ave.
 Monterey, Ca 93940
 p.831.392.7788
 f.805.544.5642

SIGNATURE _____ DATE _____

DOOR TYPES												
Marker Text	D1	D10	D11	D12	D2	D3	D4	D5	D6	D7	D8	D9
Door Panel	Custom Panel	Standard 6 Panel	Standard 6 Panel	No Grill	Flush	Standard 6 Panel	Equal 6 Panel	No Grill	No Grill	No Grill	Custom Panel	Standard 6 Panel
FRONT ELEVATION												
Nominal W x H Size	3'-0"x6'-8"	2'-6"x6'-8"	5'-0"x6'-8"	5'-0"x7'-0"	3'-0"x4'-2"	2'-6"x6'-8"	3'-0"x6'-8"	6'-0"x7'-0"	17'-0"x7'-0"	5'-0"x6'-8"	9'-0"x8'-0"	5'-0"x6'-8"



SECOND FLR. DOOR PLAN 2
 3/16" = 1'-0"



FIRST FLR. DOOR PLAN 1
 3/16" = 1'-0"

WESENBERG REMODEL ADDITION

ROBERT WESENBERG
 1143 RIPPLE AVE
 PACIFIC GROVE, CA 93950
 P: 831.915.4357
 APN: 006-054-002

DOOR SCHEDULE

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014

CAD file #####

Sheet

A.13

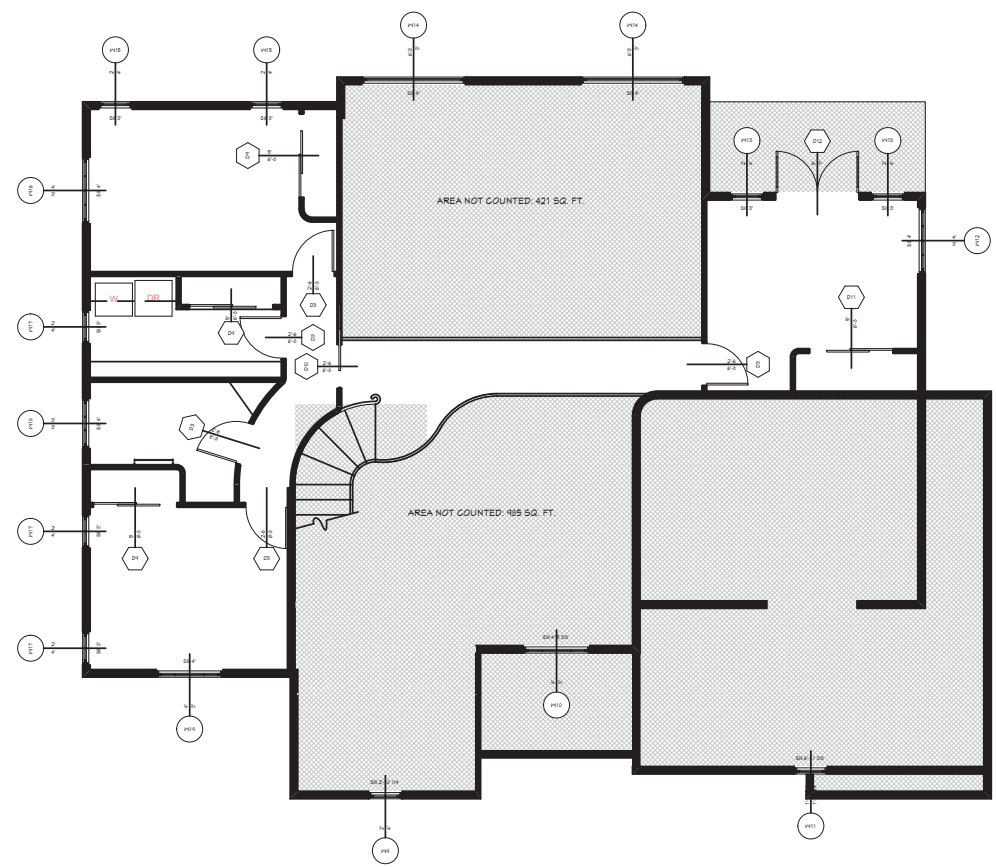


Monterey design, Inc.

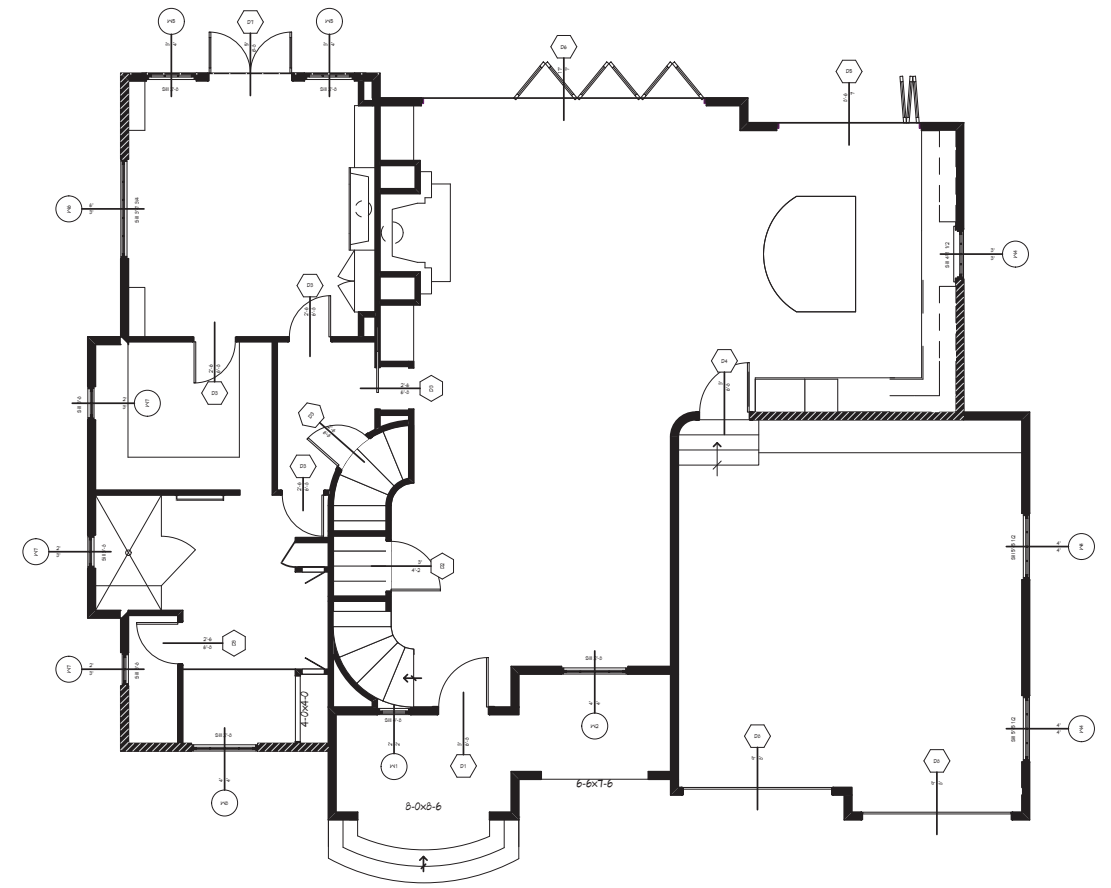
338 Hannon Ave.
 Monterey, Ca 93940
 p.831.392.7788
 f.805.544.5642

SIGNATURE _____ DATE _____

WINDOW TYPES		W1	W10	W11	W12	W13	W14	W15	W16	W17	W18	W19	W20	W21	W22	W23	W24	W25	W26	W27	W28	W29
Marker Text																						
FRONT ELEVATION																						
Nominal W x H Size	4'-0"x4'-0"	2'-0"x2'-0"	4'-0"x2'-0"	1'-11 1/2"x1'-11 1/2"	4'-0"x2'-0"	2'-0"x4'-0"	6'-2"x3'-0"	2'-0"x4'-0"	4'-0"x3'-0"	2'-0"x4'-0"	3'-0"x3'-0"	4'-0"x3'-0"	4'-0"x4'-0"	3'-0"x3'-0"	4'-0"x4'-0"	3'-0"x4'-0"	4'-0"x3'-0"	4'-0"x3'-0"	4'-0"x3'-0"	4'-0"x3'-0"	4'-0"x4'-0"	2'-0"x4'-0"



SECOND FLR. WINDOWS | 2 |
 3/16" = 1'-0"



FIRST FLR. WINDOWS | 1 |
 3/16" = 1'-0"

WESENBERG REMODEL ADDITION
 ROBERT WESENBERG
 1143 RIPPLE AVE
 PACIFIC GROVE, CA 93950
 P: 831.915.4357
 APN: 006-054-002

WINDOW SCHEDULE

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

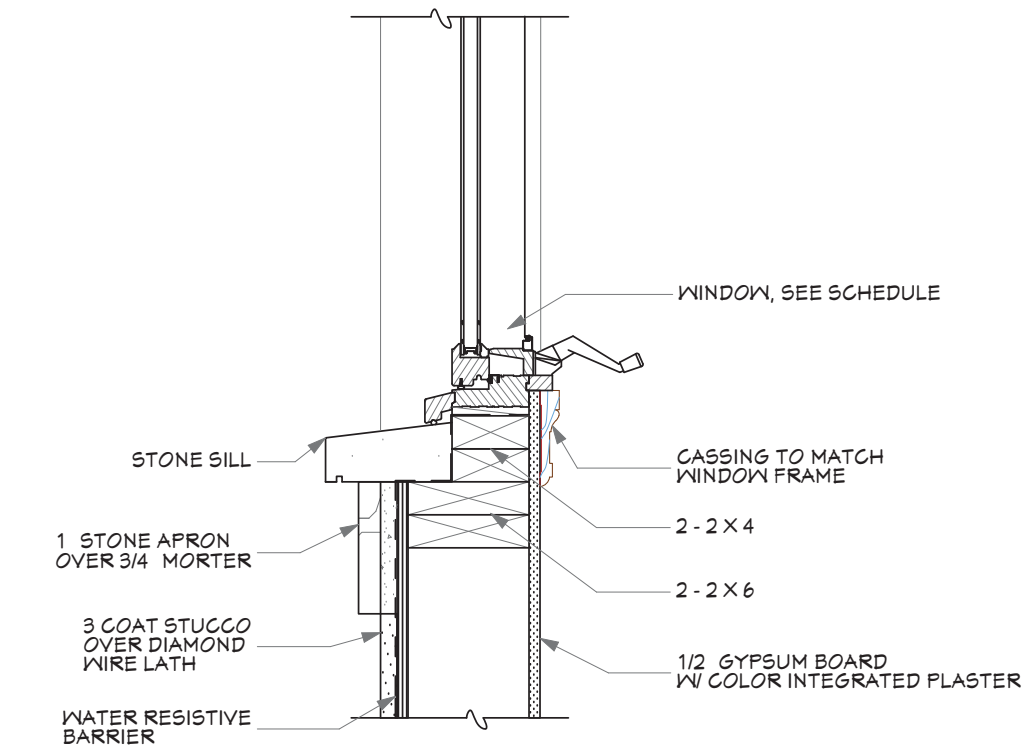
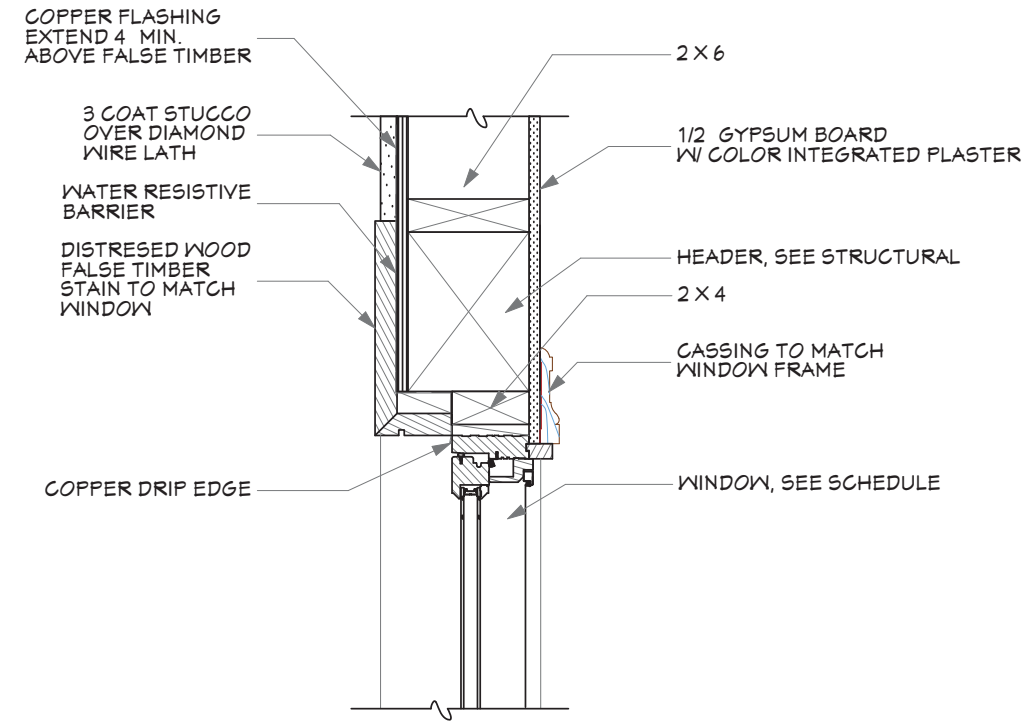
Date: JUNE 1, 2014
 CAD file: #####
 Sheet: A.14



338 Hannon Ave.
 Monterey, Ca 93940
 p.831.392.7788
 f.805.544.5642

Monterey design, Inc.

SIGNATURE _____ DATE _____



WINDOW SECTION 1
 3" = 1'-0"

WESENBERG REMODEL ADDITION

ROBERT WESENBERG
 1143 RIPPLE AVE
 PACIFIC GROVE, CA 93950
 P: 831.915.4357
 APN: 006-054-002

WINDOW/DOOR DETAILS

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014

CAD file #####

Sheet

A.15



338 Hannon Ave.
 Monterey, Ca 93940
 p.831.392.7788
 f.805.544.5642

Monterey design, Inc.

SIGNATURE _____ DATE _____



WESENBERG REMODEL ADDITION

ROBERT WESENBERG
 1143 RIPPLE AVE
 PACIFIC GROVE, CA 93950
 P: 831.915.4357
 APN: 006-054-002

PHOTO MONTAGE

WESENBERG RENDERING
 1:0.77

1

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014

CAD file #####

Sheet

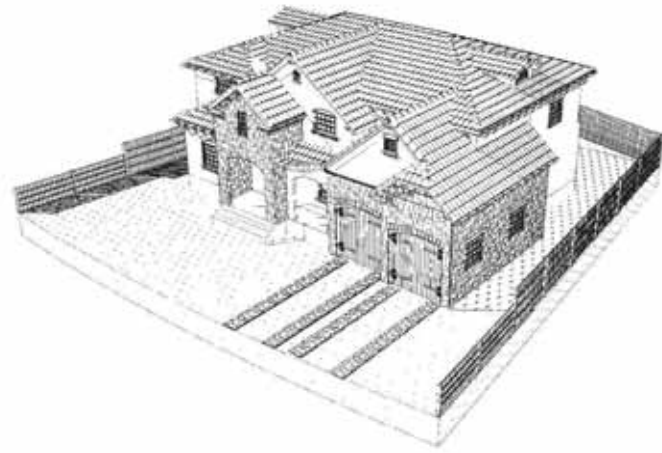
A.16



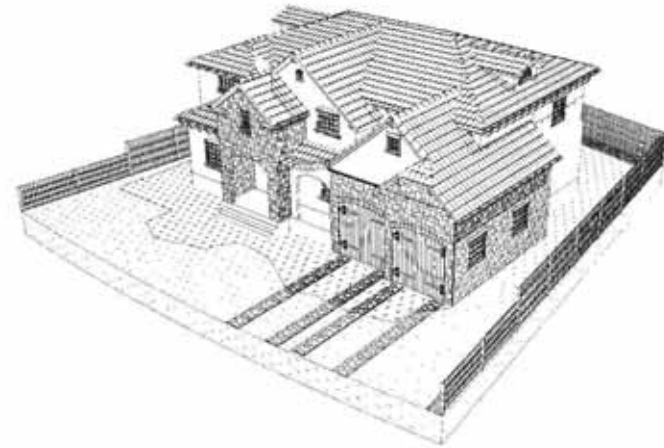
Monterey design, Inc.

338 Hannon Ave.
Monterey, Ca 93940
p.831.392.7788
f.805.544.5642

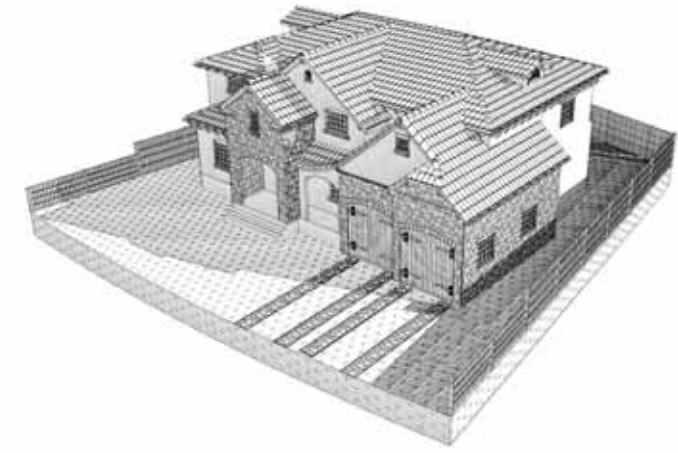
SIGNATURE _____ DATE _____



JUNE 21 MORNING

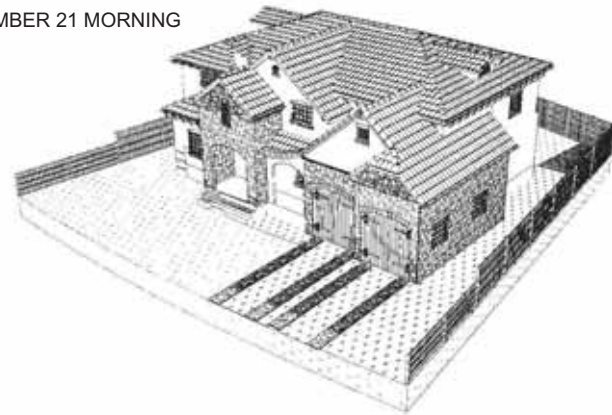


JUNE 21 NOON

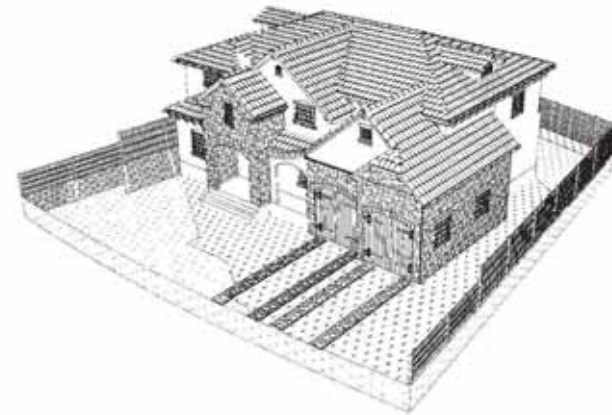


JUNE 21 EVENING

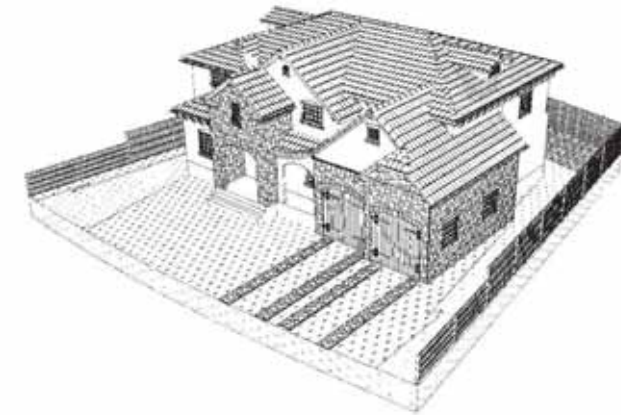
DECEMBER 21 MORNING



DECEMBER 21 NOON



DECEMBER 21 EVENING



WESENBERG REMODEL ADDITION

ROBERT WESENBERG
1143 RIPPLE AVE
PACIFIC GROVE, CA 93950
P: 831.915.4357
APN: 006-054-002

SUN STUDIES

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014

CAD file #####

Sheet

A.17



Cream Tan Brown (special order)

13 PERMEABLE DRIVEWAY



10 SAMPLE AREA DRAIN COVER



7 SAMPLE PATH LIGHT



4 SAMPLE WINDOW



1 SAMPLE ROOF TILE



11 SAMPLE COPPER GUTTER



8 EXT. WALL MOUNT LIGHT



5 SAMPLE ENTRY DOOR



2 SAMPLE STONE WORK



12 COPPER DOWNSPOUT



9 EXT. ENTRY LIGHT



6 SAMPLE GARAGE DOOR



3 SAMPLE STUCCO



338 Hannon Ave.
Monterey, Ca 93940
p. 831.392.7788
f. 805.544.5642

Monterey design, Inc.

SIGNATURE _____ DATE _____

WESENBERG REMODEL ADDITION

ROBERT WESENBERG
1143 RIPPLE AVE
PACIFIC GROVE, CA 93950
P: 831.915.4357
APN: 006-054-002

MATERIALS & COLORS

No	Revision	Date
1	1ST PLAN CHECK	9/20/11

Date: JUNE 1, 2014

CAD file #####

Sheet

A.18



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T: 831.648.3183 • F: 831.648.3184 • www.ci.pg.ca.us/cdd

**ARCHITECTURAL PERMIT 14-322:
FOR A PROPERTY LOCATED AT 1143 RIPPLE AVE TO DEMOLISH 72% OF THE EXISTING
STRUCTURE AND CONSTRUCT A TWO-STORY SINGLE FAMILY RESIDENCE TOTALING 3,003
SQUARE FEET OF GROSS FLOOR AREA.**

FACTS

1. The subject site is located at 1143 Ripple Ave., Pacific Grove, 93950 APN 006-054-002
2. The subject site has a designation of medium density to 17.4 Du/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1-H zoning district.
4. The subject site is approximately 6343 square feet.
5. The subject site is currently under construction from a previously approved project (AP 12-0272).
6. A Phase 1 Historic Report was completed by Elizabeth Moore on October 11, 2012 and found that the property is ineligible for the City of Pacific Grove Historic Resources Inventory.
7. This project has been determined to be Categorically Exempt under CEQA Guidelines 15301(e).

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1 zoning district including allowed gross floor area, setbacks, and height requirements. Additionally, the proposed development is also in conformance with the regulations set forth in the R-H zoning district, including maximum building coverage, and roof pitch requirements;
2. The existing structure is considered legal-nonconforming because it encroaches into the side setback on the southwest side. An administrative variance was granted to allow a 20% reduction in setback requirements on the southwest side.
3. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No.'s 1, 24, 25, 30, 36 and ;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Permit (AP) 14-322 to allow:

The property located at 1143 Ripple Ave to demolish 72% of the existing structure and construct a two-story single family residence totaling 3,003 square feet of gross floor area.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.

2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “Wesenberg Residence” dated 6/1/2014, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of AP 14-322 to allow the property located at 1143 Ripple Ave to demolish 72% of the existing structure and construct a two-story single family residence totaling 3,003 square feet.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 12th day of August, 2014, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Jim McCord, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Robert Wesenberg, Owner

Date